

CHARLES F. & FAIZ YOUSEFI
JASPER COUNTY CASA
BOOK 2574, PAGE 70
LOT 4 - ZONE C3-PD
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1824 CAROLYN PL

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744 N. 4TH BLVD

WILLIAM H. DAVIS PARKER
BOOK 2435, PAGE 432
LOT 112 - ZONE C3-PD
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MURPHY BLVD

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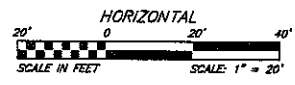
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LOT 200 - ZONE C3-PD
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MURPHY BLVD

S CAROLYN PL (VACATED)

10TH STREET



LEGEND

- P ——— PROPERTY LINE
- S ——— SETBACK LINE
- GAS ——— UNDERGROUND GAS SERVICE LINE
- SS ——— SANITARY SERVICE LINE
- WS ——— DOMESTIC WATER SERVICE LINE

LEGAL DESCRIPTION

LOT 8: WATSONS 1ST SUB S 100' LOT 8 EX S 10' FOR ST
LOT 7: WATSONS 1ST SUB LOT 7 & N 5' LOT 8
LOT 6: WATSONS 1ST SUB LOT 6 EX N 11'
LOT 5: WATSONS 1ST SUB LOT 5 & N 11' LOT 6

PROPERTY ADDRESS

1917 CAROLYN PL
1901 CAROLYN PL
1831 CAROLYN PL
1825 CAROLYN PL

ZONING

C3-PD (LOTS 5, 6, 7 & 8)

PROPERTY OWNER

JASPER COUNTY CASA
(LOTS 5, 6, 7 & 8)

DEVELOPER / CONTRACTOR

JASPER COUNTY CASA
420 GRAND AVE
JOPLIN, MO 64801

SITE DATA

SITE	
SITE AREA:	48,299 SF (1.11 AC)
IMPERVIOUS AREA:	12,800 SF (27%)
BUILDING	
AREA:	4,475 SF
HEIGHT:	30'
PARKING	
REQUIRED TOTAL STALLS:	15
ONE PARKING SPACE FOR EACH 300 SF OF GROSS FLOOR AREA	
TOTAL PARKING STALLS:	9*
REQUIRED HANDICAPPED STALLS:	1
HANDICAP STALLS PROVIDED:	1

*SHARED PARKING AGREEMENT WITH ST. JAMES METHODIST CHURCH (LOT 108)

SITE PLAN GENERAL NOTES

- SITE CONDITIONS SHOWN ARE FROM SURVEY PERFORMED BY ANDERSON ENGINEERING INC. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF JOPLIN, MISSOURI.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL STATE, AND LOCAL PERMITS REQUIRED FOR THIS PROJECT PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL PREVENT ANY TRASH, DEBRIS, OR LIQUID WASTES FROM BEING DISPOSED OF IN SANITARY SEWERS, STORM SEWERS OR OPEN DRAINAGE SYSTEMS.
- CONTRACTORS AT THE SITE SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY FOR ALL ASPECTS OF WORK SHOWN HEREON.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES AFFECTED BY THE CONTRACT. ALL EXISTING UTILITIES INDICATED ON THESE PLANS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER; HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- ANY AND ALL HAZARDS SHALL BE PROPERLY IDENTIFIED AND BARRICADED FROM ACCESS DURING ALL NON-CONSTRUCTION PERIODS.

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NO.	DATE	BY	DESCRIPTION

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ISSUED FOR:	PRELIMINARY
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JASPER COUNTY CASA

SITE PLAN

1901 CAROLYN PLACE, JOPLIN, MISSOURI

05/07/2021

SHEET NUMBER

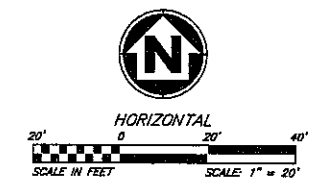
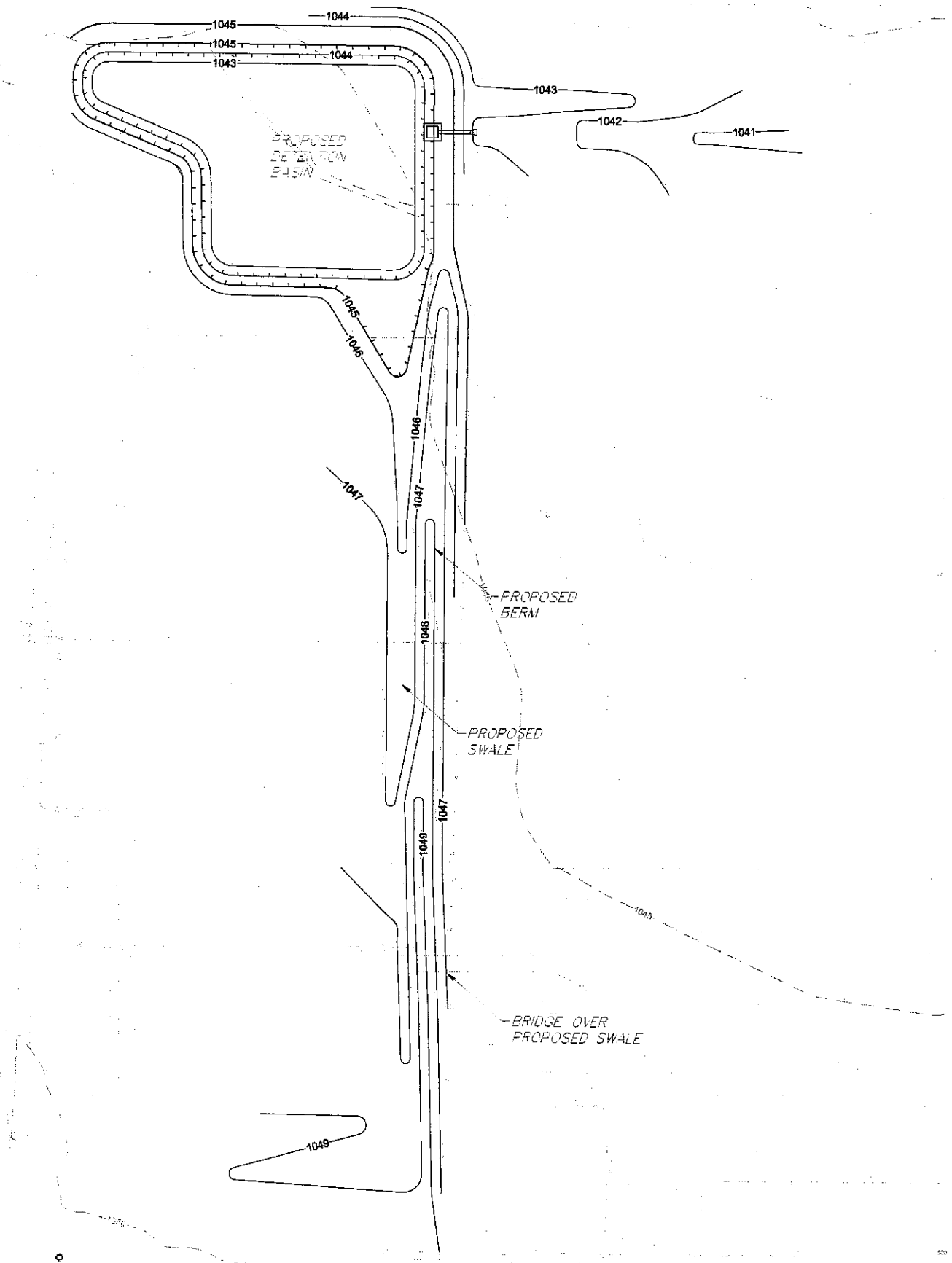
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OF 9

Case 030-2)

S CAROLYN PL (VACATED)

20TH STREET



LEGEND

---	PROPERTY LINE
- - -	SETBACK LINE
---	FINISH GRADE 5' CONTOUR
---	FINISH GRADE 1' CONTOUR
---	EXISTING GRADE 5' CONTOUR
---	EXISTING GRADE 1' CONTOUR

GRADING PLAN GENERAL NOTES:

1. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS.
2. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED (GREEN SPACES) SHALL BE FINISH GRADED WITH A MINIMUM OF SIX INCHES OF TOPSOIL.
3. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
4. EXISTING GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
5. HAUL OFF AND MATERIAL IMPORT SHALL NOT BE AN EXCLUDED ITEM IN THE BASE BID. ALL EXCAVATION SHALL BE CONSIDERED NON-CLASSIFIED. NO ADDITIONAL PAYMENT WILL BE MADE FOR ROCK EXCAVATION OR BLASTING.
6. ALL DISTURBED AREAS ARE TO RECEIVE TOPSOIL (6"), SEED/SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. RE-SEEDING SHALL BE REQUIRED.
7. WITHIN FORTY-EIGHT HOURS PRIOR TO ANY ASPHALT OR CONCRETE PAVING, THE SUBGRADE SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEN WHEEL DUMP TRUCK AND OBSERVED BY THE ON-SITE GEOTECHNICAL ENGINEER. AREAS OF THE SUBGRADE WITH EXCESSIVE RUTTING AND/OR PUMPING SHALL BE RE-WORKED OR REMOVED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. FLY ASH OR GRANULAR MATERIAL MAY BE ADDED BY THE CONTRACTOR (AS APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER) TO STABILIZE THE SUBGRADE.
8. REFERENCE GEOTECHNICAL REPORT FOR BUILDING PAD PREPARATION.
9. CONTRACTOR SHALL OPERATE UNDER THE TERMS AND PERMITS INCLUDED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT AND PERMITTED THROUGH THE STATE OF MISSOURI. CONTRACTOR SHALL EMPLOY A QUALIFIED PERSON TO CONDUCT REGULAR INSPECTIONS OF THE SITE EROSION CONTROL MEASURES AND DOCUMENT SUCH INSPECTIONS IN THE SWPPP DOCUMENT MAINTAINED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL ADHERE ALL TERMS & CONDITIONS AS OUTLINED IN THE PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH THE CONSTRUCTION ACTIVITIES AS ISSUED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES.

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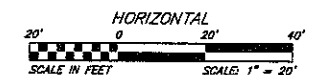
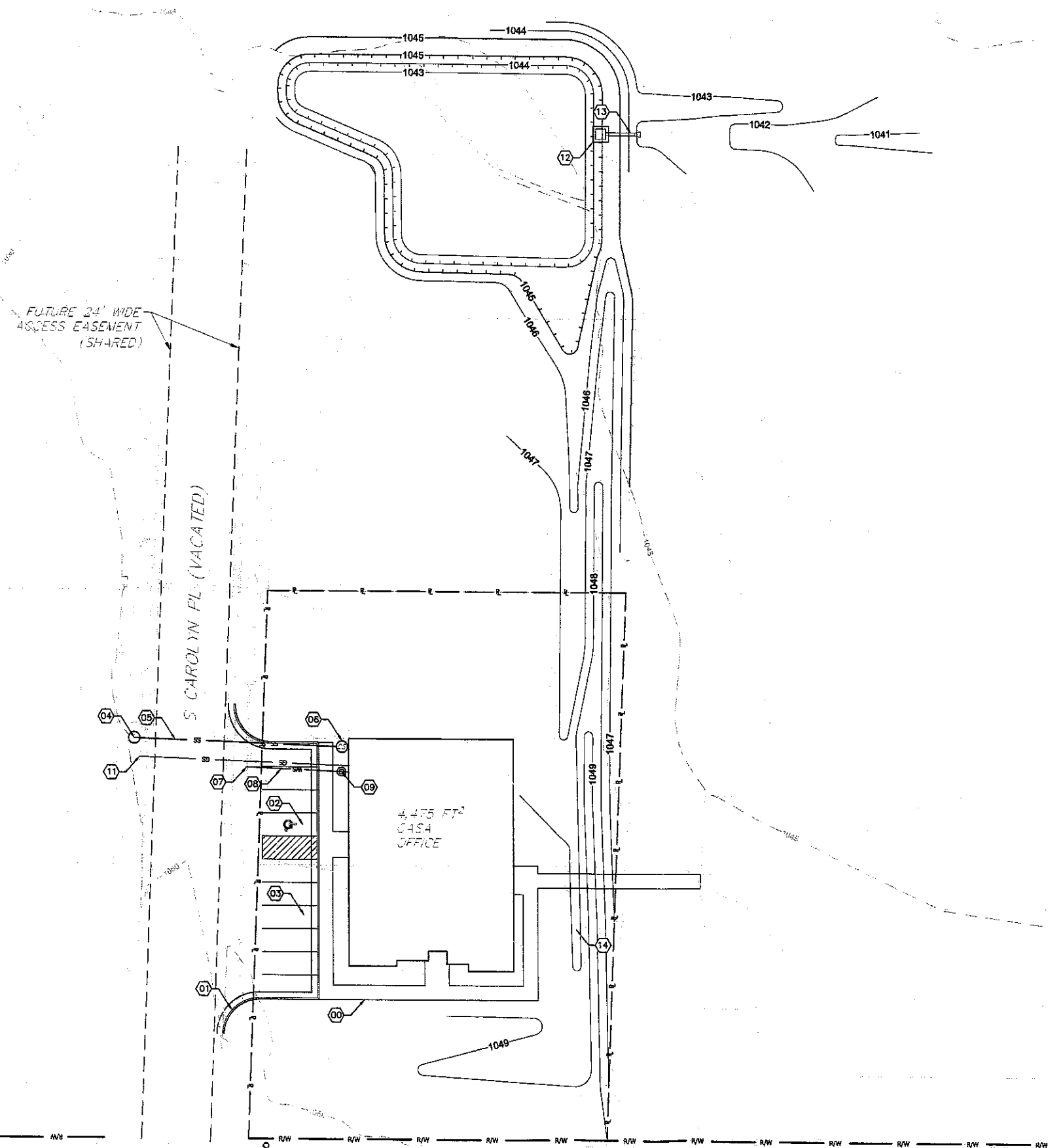
JASPER COUNTY CASA

GRADING PLAN

1801 CAROLYN PLACE, JOPLIN, MISSOURI

PROFESSIONAL ENGINEER
KRISTEN W. BROWN
MISSOURI LICENSE NO. 20719
05/07/2021

SHEET NUMBER
2
OF 9



LEGEND

- P — PROPERTY LINE
- S — SETBACK LINE
- G — UNDERGROUND GAS SERVICE LINE
- S — SANITARY SERVICE LINE
- W — DOMESTIC WATER SERVICE LINE

UTILITY PLAN GENERAL NOTES

1. UTILITY CONSTRUCTION SHALL COMPLY WITH THE STANDARD SPECIFICATIONS, CODES, AND DETAILS OF THE CITY OF JOPLIN AND UTILITY PROVIDERS.
2. THE LAST 10' OF UTILITY LINE BEDDING INTO THE BUILDING SHALL NOT CONTAIN GRANULAR MATERIAL.
3. THE INFORMATION SHOWN ON THESE PLANS CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION AND FOR MAKING HIS OWN VERIFICATION AS TO TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CONTACT THE UTILITY LOCATION SERVICE A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION TO FIELD LOCATE UTILITIES.
4. IF DURING THE COURSE OF CONTRACTOR COORDINATION WITH ANY UTILITY THE NEED FOR AN EASEMENT IS REQUESTED CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
5. CONTRACTOR TO INSTALL PROTECTIVE SLEEVES IN FOOTINGS IF NECESSARY FOR UTILITY CONNECTION WITH BUILDING.
6. CONTRACTOR SHALL CONTACT UTILITY COMPANY TO INSPECT ELECTRIC CONDUIT INSTALLATION PRIOR TO BACKFILLING.
7. ROOF DRAINS, GUTTERS, AND DOWNSPOUTS SHALL NOT CONNECT TO SANITARY SEWER.

UTILITY PLAN KEY NOTES

- 00 CONSTRUCT CONCRETE SIDEWALK PER STANDARD DETAIL.
- 01 CONSTRUCT CONCRETE CURB AND GUTTER PER STANDARD DETAIL.
- 02 CONSTRUCT ADA PARKING STALL, CHEVRON PAINT TO BE 4" WIDE PAINTED AT 45° TO PERPENDICULAR, SPACING TO BE 2' O.C. PAINT TO BE LEAD-FREE, WATER-BORNE, EMULSION-BASED TRAFFIC PAINT, BLUE IN COLOR. SIGNAGE PER STANDARD DETAIL.
- 03 CONSTRUCT CONCRETE PARKING PER STANDARD DETAIL. PAINT 4" PARKING STRIPING, PAINT TO BE LEAD-FREE, WATER-BORNE, EMULSION-BASED TRAFFIC PAINT, WHITE IN COLOR.
- 04 CONNECT SANITARY SERVICE LINE TO EXISTING 8" SANITARY MAIN.
8" SANITARY SERVICE FL=±1041.94
- 05 INSTALL 6" SANITARY SERVICE LINE @ MIN. 1% SLOPE.
- 06 INSTALL SANITARY CLEANOUT PER STANDARD DETAIL.
- 07 INSTALL 1" DOMESTIC WATER SERVICE TAP TO EXISTING WATER MAIN PER CITY OF JOPLIN STANDARDS. CONTRACTOR TO FIELD VERIFY SIZE, TYPE, AND LOCATION OF EXISTING WATER MAIN.
- 08 INSTALL 1" TYPE K COPPER DOMESTIC WATER SERVICE LINE PER CITY OF JOPLIN STANDARDS.
- 09 INSTALL 1" WATER METER AND WATER METER PIT PER CITY OF JOPLIN STANDARDS.
- 10 INSTALL GAS SERVICE LINE PER CITY OF JOPLIN STANDARDS.
- 11 CONNECT GAS SERVICE LINE TO GAS MAIN. CONTRACTOR TO FIELD VERIFY SIZE, TYPE, AND LOCATION OF EXISTING GAS MAIN.
- 12 PROPOSED DETENTION BASIN OUTFALL STRUCTURE.
- 13 12" STORM PIPE WITH FLARED END SECTION OUTFALL.
- 14 PROPOSED DRAINAGE SWALE AND BERM.

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JASPER COUNTY CASA

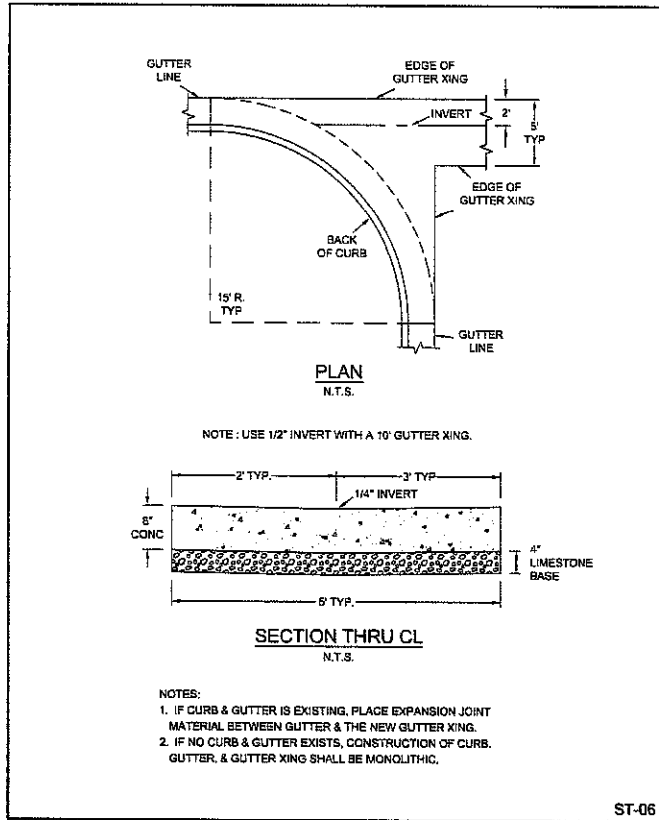
UTILITY PLAN

1801 CAROLYN PLACE, JOPLIN, MISSOURI

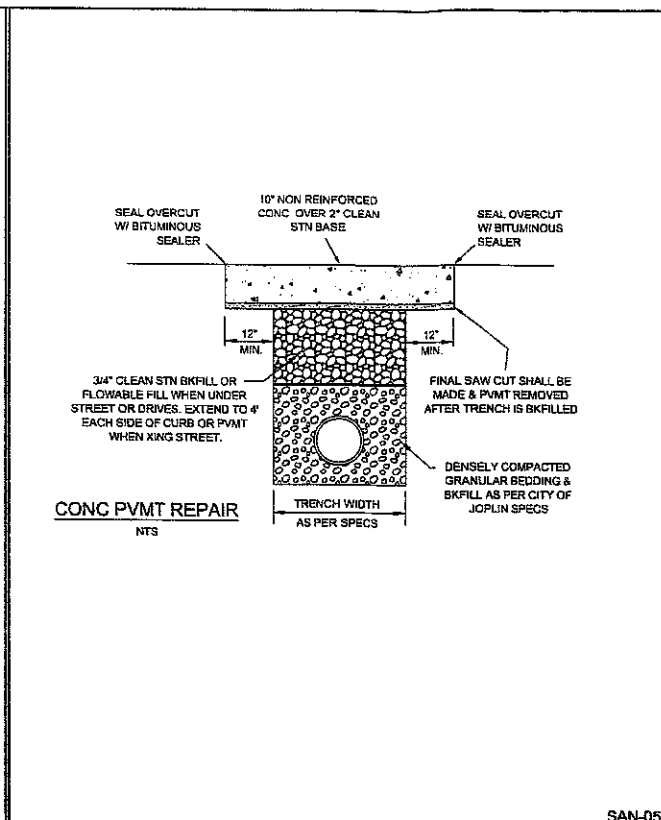
05/07/2021

Know what's below.
Call before you dig.

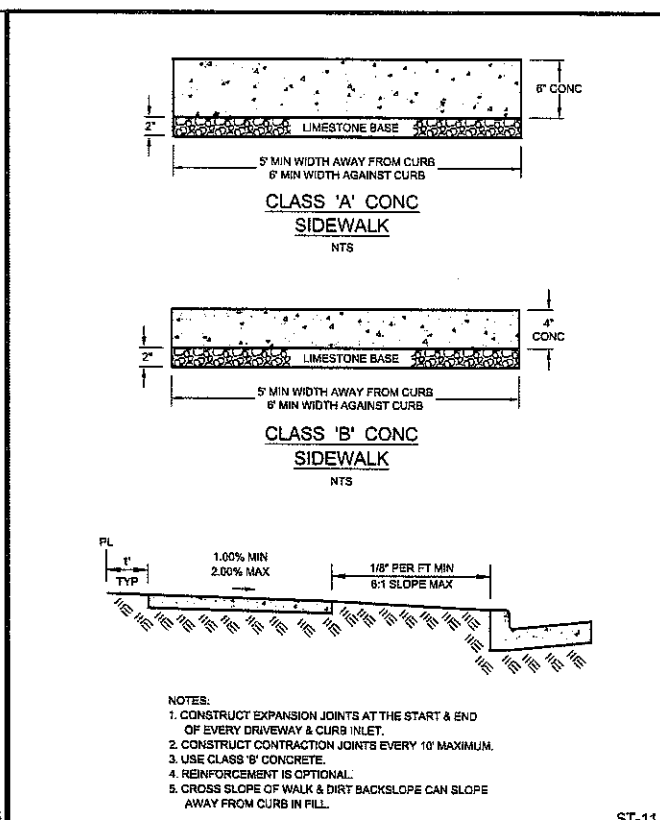
My Dr. 2021 - 11 from notes by: casin
 c:\shared\dev\01_Land Development Eng\Projects\60112021\121010022 Jasper County CASA, Jasper County, Joplin, MO\01 - Civil\05 - DWG\Draw\21010022-1466-1466-1466-1466.dwg
 Layout: DETAILS



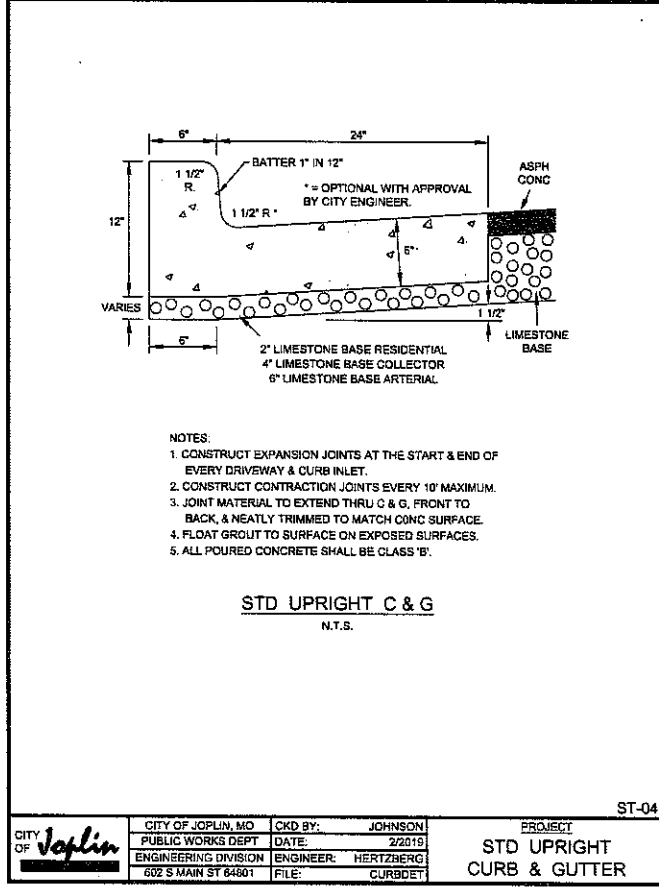
CITY OF Joplin	CITY OF JOPLIN, MO PUBLIC WORKS DEPT ENGINEERING DIVISION 602 S MAIN ST 64801	CKD BY: JOHNSON DATE: 2/2019 ENGINEER: HERTZBERG FILE: GUTTERXING	PROJECT CONC GUTTER XING
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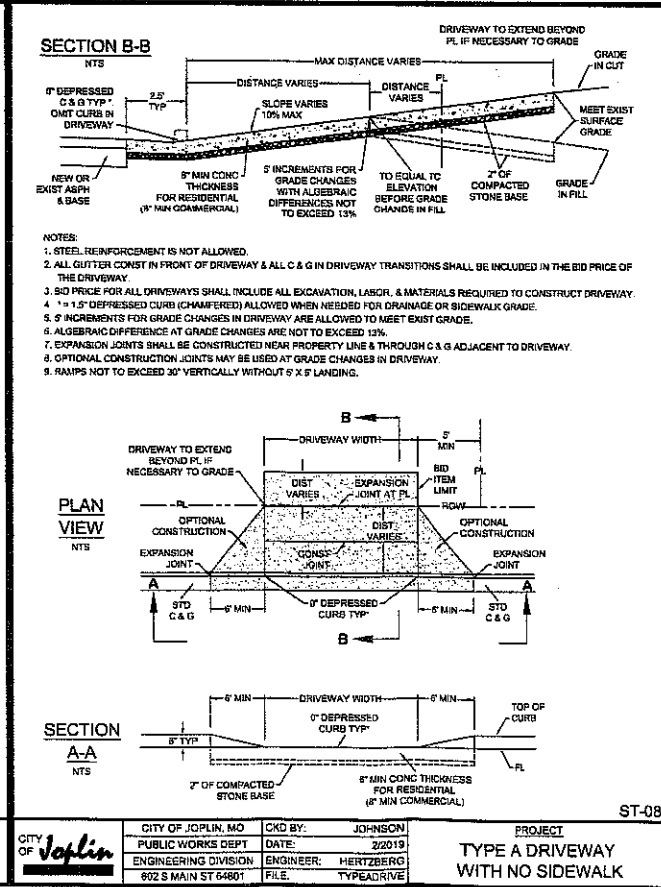
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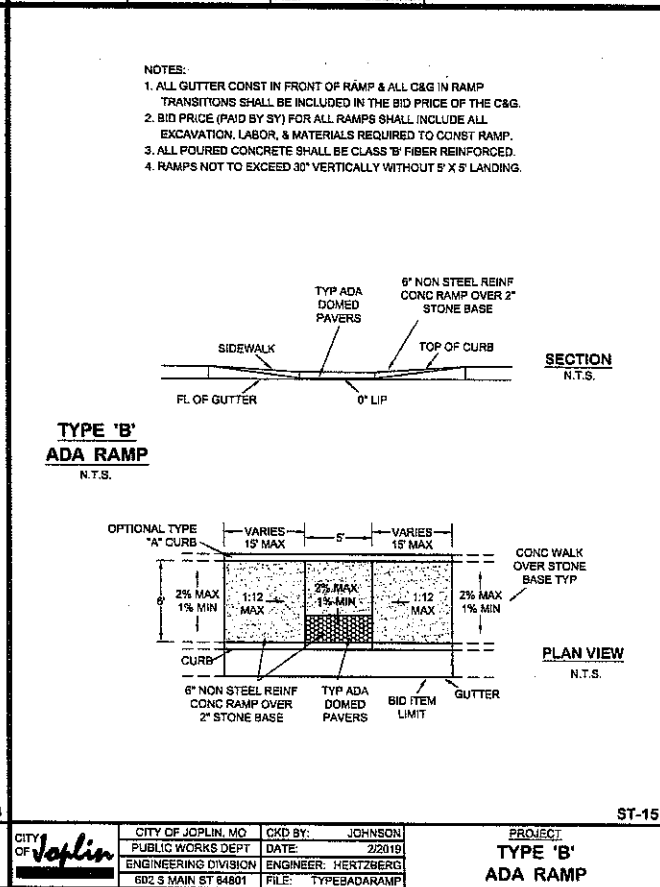
CITY OF Joplin	CITY OF JOPLIN, MO PUBLIC WORKS DEPT ENGINEERING DIVISION 602 S MAIN ST 64801	CKD BY: JOHNSON DATE: 2/2019 ENGINEER: HERTZBERG FILE: SIDEWALK	PROJECT CONC SIDEWALK DETAILS
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CITY OF Joplin	CITY OF JOPLIN, MO PUBLIC WORKS DEPT ENGINEERING DIVISION 602 S MAIN ST 64801	CKD BY: JOHNSON DATE: 2/2019 ENGINEER: HERTZBERG FILE: CURBDET	PROJECT STD UPRIGHT CURB & GUTTER
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CITY OF Joplin	CITY OF JOPLIN, MO PUBLIC WORKS DEPT ENGINEERING DIVISION 602 S MAIN ST 64801	CKD BY: JOHNSON DATE: 2/2019 ENGINEER: HERTZBERG FILE: TYPEADRV	PROJECT TYPE A DRIVEWAY WITH NO SIDEWALK
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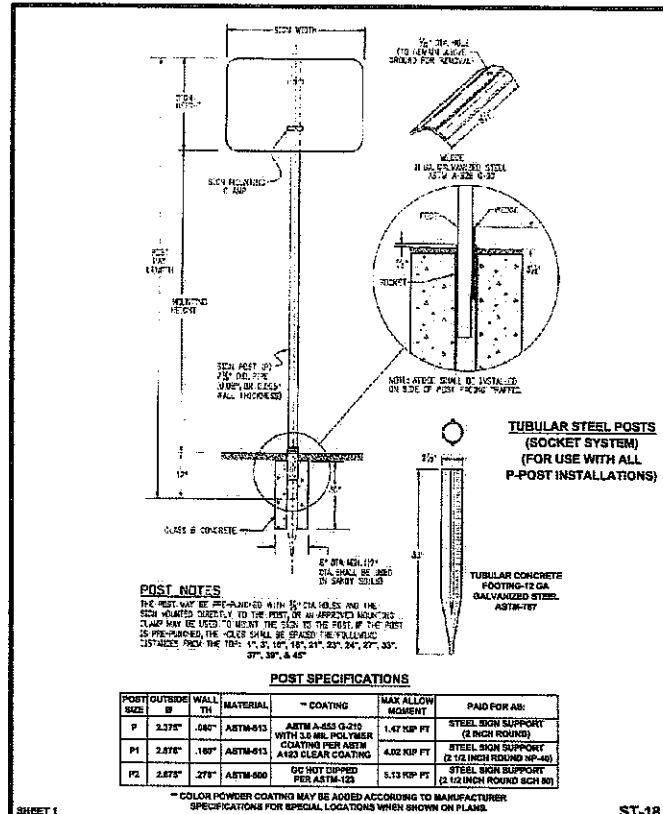
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DRAWING INFO.	
DRAWN BY:	CMA
CHECK BY:	PJ
LICENSE NO.	
DATE:	05/05/2021
ISSUED FOR:	PRELIMINARY
JOB NUMBER	21JO10027

JASPER COUNTY CASA
DETAIL SHEET 1
 1901 CAROLYN PLACE, JOPLIN, MISSOURI
 05/07/2021

May 11, 2021 11:11 AM saved by: casa c:\shared\envs\101_01_Land Development Eng\Projects\101_2021\121010027 Jasper County CASA Jasper County GIS Jasper County CAD\101_2021\121010027-0000-0000-0000-0000.dwg Layer: DETAILS



POST OUTSIDE DIA	WALL THICKNESS	MATERIAL	COATING	MAX ALLOW MOMENT	PAID FOR BY:
P1	2.375"	.480"	ASTM-A513	1.47 KIP FT	STEEL SIGN SUPPORT (2 INCH ROUND)
P1	2.875"	.180"	ASTM-A513	4.02 KIP FT	STEEL SIGN SUPPORT (2 1/2 INCH ROUND NP-40)
P2	2.875"	.270"	ASTM-A500	5.13 KIP FT	STEEL SIGN SUPPORT (2 1/2 INCH ROUND SCH 80)

- CHART NOTES:
- TYPICAL POST MOUNTING HEIGHTS FROM GROUND TO BOTTOM OF SIGN PANEL ARE 7', 8', OR 9'. OTHER HEIGHTS MAY BE REQUIRED WHEN SIGNS ARE MOUNTED ON STEEPER SLOPE OR CUT SLOPES.
 - FOR SIGNS MOUNTED ON TWO POSTS, THE MINIMUM DISTANCE BETWEEN POSTS SHALL BE 7' & THE MAXIMUM DISTANCE SHALL BE 8'. DISTANCE FROM POST TO EDGE OF SIGN PANELS SHALL BE 0" TO 4". WHEN RAINING ZEES ARE USED, POSTS SHALL BE INSTALLED WITH A MINIMUM OF 2" TO THE EDGE OF THE BACKING ZEE.
 - ALL SIDE PANELS GREATER THAN 60" IN WIDTH MUST BE MOUNTED ON 2 POSTS TO PREVENT TIPPING.
 - THE POST SIZES SHOWN ARE THE MINIMUM SIZES REQUIRED. TWO P1 POSTS MAY SUBSTITUTE FOR ONE P2 POST IF INDICATED. P2 POSTS MAY BE SUBSTITUTED FOR P1 POSTS WHEN DIRECTED BY THE ENGINEER.

SIGN POST SELECTION GUIDE
(90 MPH WIND LOAD DESIGN)
(FOR SOCKET SYSTEM & SLIPBASE INSTALLATIONS USING P, P1, OR P2 POSTS)

7' MOUNTING HEIGHT

SIGN HEIGHT (FT)	SIGN WIDTH (FT)								
	1	2	2.5	3	4	5	6	7	8
1	P	P	P	P	P1	P1	P1	P1	P1
2	P	P	P	P	P1	P1	P1	P1	P1
3	P	P	P	P	P1	P1	P1	P1	P1
4	P	P	P	P	P1	P1	P1	P1	P1
5	SIZES	P1	P1	P1	P1	P1	P1	P1	P1
6	NOT USED	P1	P1	P1	P1	P1	P1	P1	P1
7	NOT USED	P1	P1	P1	P1	P1	P1	P1	P1

8' MOUNTING HEIGHT

SIGN HEIGHT (FT)	SIGN WIDTH (FT)								
	1	2	2.5	3	4	5	6	7	8
1	P	P	P	P	P1	P1	P1	P1	P1
2	P	P	P	P	P1	P1	P1	P1	P1
3	P	P	P	P	P1	P1	P1	P1	P1
4	P	P	P	P	P1	P1	P1	P1	P1
5	SIZES	P1	P1	P1	P1	P1	P1	P1	P1
6	NOT USED	P1	P1	P1	P1	P1	P1	P1	P1
7	NOT USED	P1	P1	P1	P1	P1	P1	P1	P1

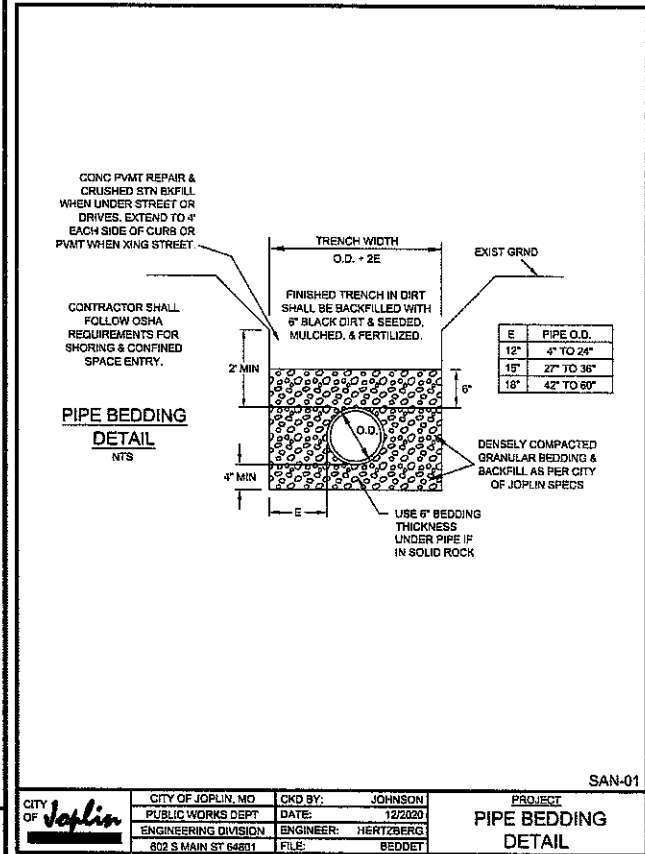
9' MOUNTING HEIGHT

SIGN HEIGHT (FT)	SIGN WIDTH (FT)								
	1	2	2.5	3	4	5	6	7	8
1	P	P	P	P	P1	P1	P1	P1	P1
2	P	P	P	P	P1	P1	P1	P1	P1
3	P	P	P	P	P1	P1	P1	P1	P1
4	P	P	P	P	P1	P1	P1	P1	P1
5	SIZES	P1	P1	P1	P1	P1	P1	P1	P1
6	NOT USED	P1	P1	P1	P1	P1	P1	P1	P1
7	NOT USED	P1	P1	P1	P1	P1	P1	P1	P1

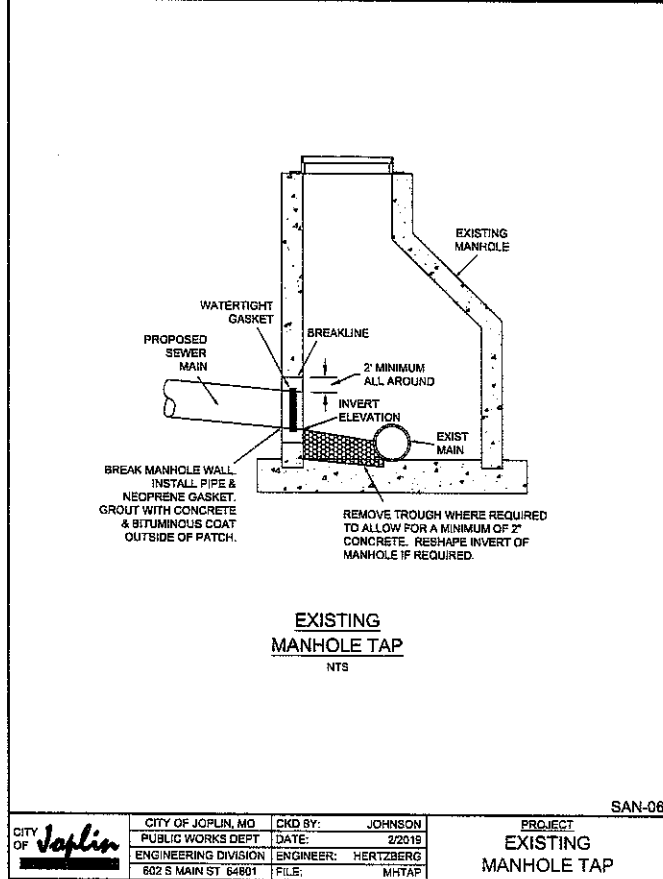
- GENERAL NOTES:
- SIGNS BETWEEN 37" & 60" WIDTH WITH ONE POST INSTALLATION REQUIRE A 1" OR 1 1/2" SIGN SUPPORT BRACKET IN ADDITION TO THE BACKING ZEE REQUIREMENTS. WHEN DIRECTED BY THE ENGINEER, SIGN PANELS LESS THAN 48" MAY BE ATTACHED DIRECTLY TO 1" OR 1 1/2" BRACKETS WITHOUT ZEES.
 - U-BRACKETS MAY BE USED FOR MULTIPLE SIGN INSTALLATIONS.

SHEET 1 CITY OF **Joplin** CITY OF JOPLIN, MO CKD BY: JOHNSON PROJECT: **SIGN SUPPORT & INSTALLATION DETAILS** SAN-18
PUBLIC WORKS DEPT DATE: 03/2019
ENGINEERING DIVISION ENGINEER: HERTZBERG
602 S MAIN ST 64801 FILE: SIGN POST 1

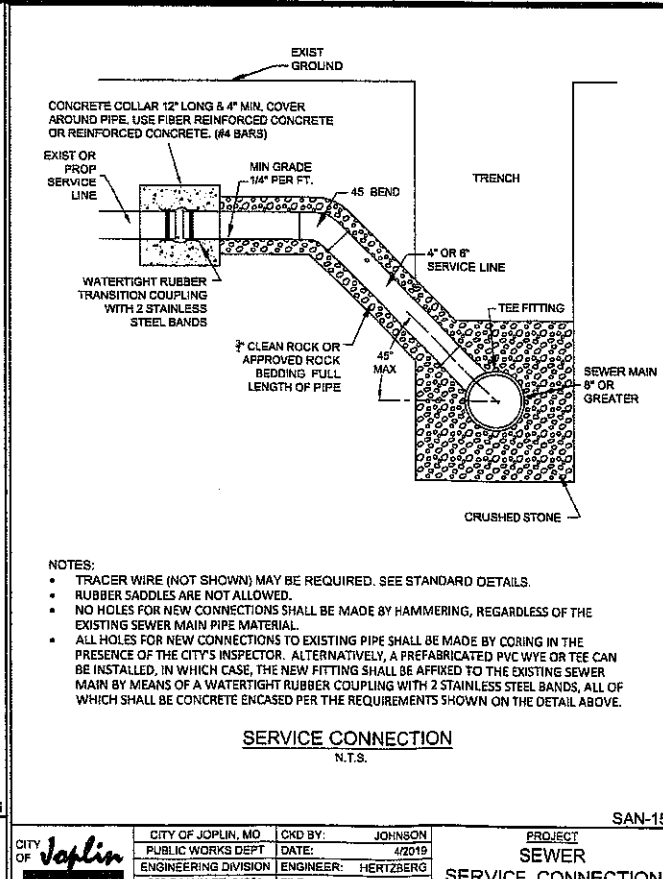
SHEET 2 CITY OF **Joplin** CITY OF JOPLIN, MO CKD BY: JOHNSON PROJECT: **SIGN SUPPORT & INSTALLATION DETAILS** SAN-19
PUBLIC WORKS DEPT DATE: 03/2019
ENGINEERING DIVISION ENGINEER: HERTZBERG
602 S MAIN ST 64801 FILE: SIGN POST 2



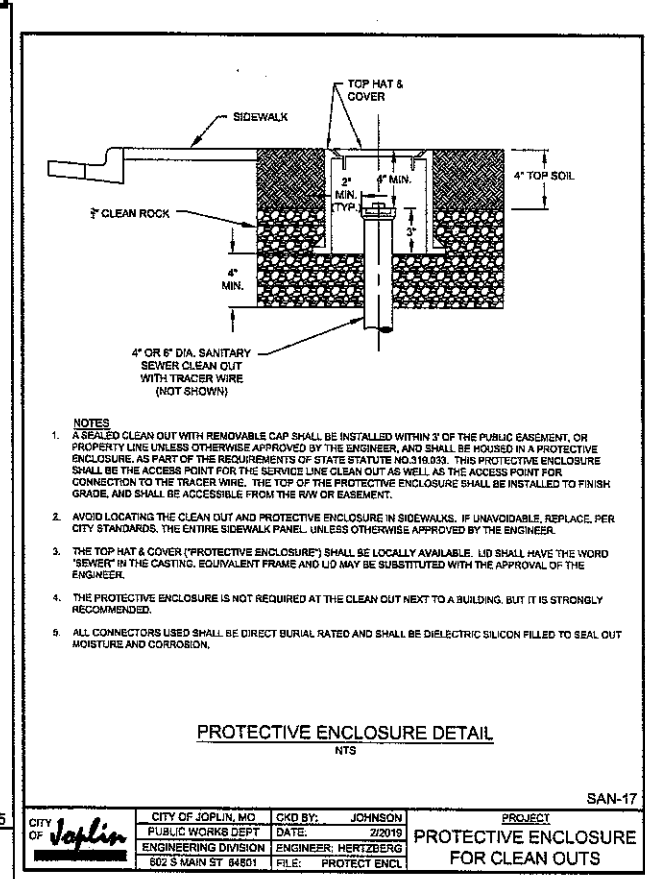
CITY OF **Joplin** CITY OF JOPLIN, MO CKD BY: JOHNSON PROJECT: **PIPE BEDDING DETAIL** SAN-01
PUBLIC WORKS DEPT DATE: 12/2020
ENGINEERING DIVISION ENGINEER: HERTZBERG
602 S MAIN ST 64801 FILE: BEDDET



CITY OF **Joplin** CITY OF JOPLIN, MO CKD BY: JOHNSON PROJECT: **EXISTING MANHOLE TAP** SAN-08
PUBLIC WORKS DEPT DATE: 2/2019
ENGINEERING DIVISION ENGINEER: HERTZBERG
602 S MAIN ST 64801 FILE: MHTAP



CITY OF **Joplin** CITY OF JOPLIN, MO CKD BY: JOHNSON PROJECT: **SERVICE CONNECTION** SAN-15
PUBLIC WORKS DEPT DATE: 4/2019
ENGINEERING DIVISION ENGINEER: HERTZBERG
602 S MAIN ST 64801 FILE: SERVCONN



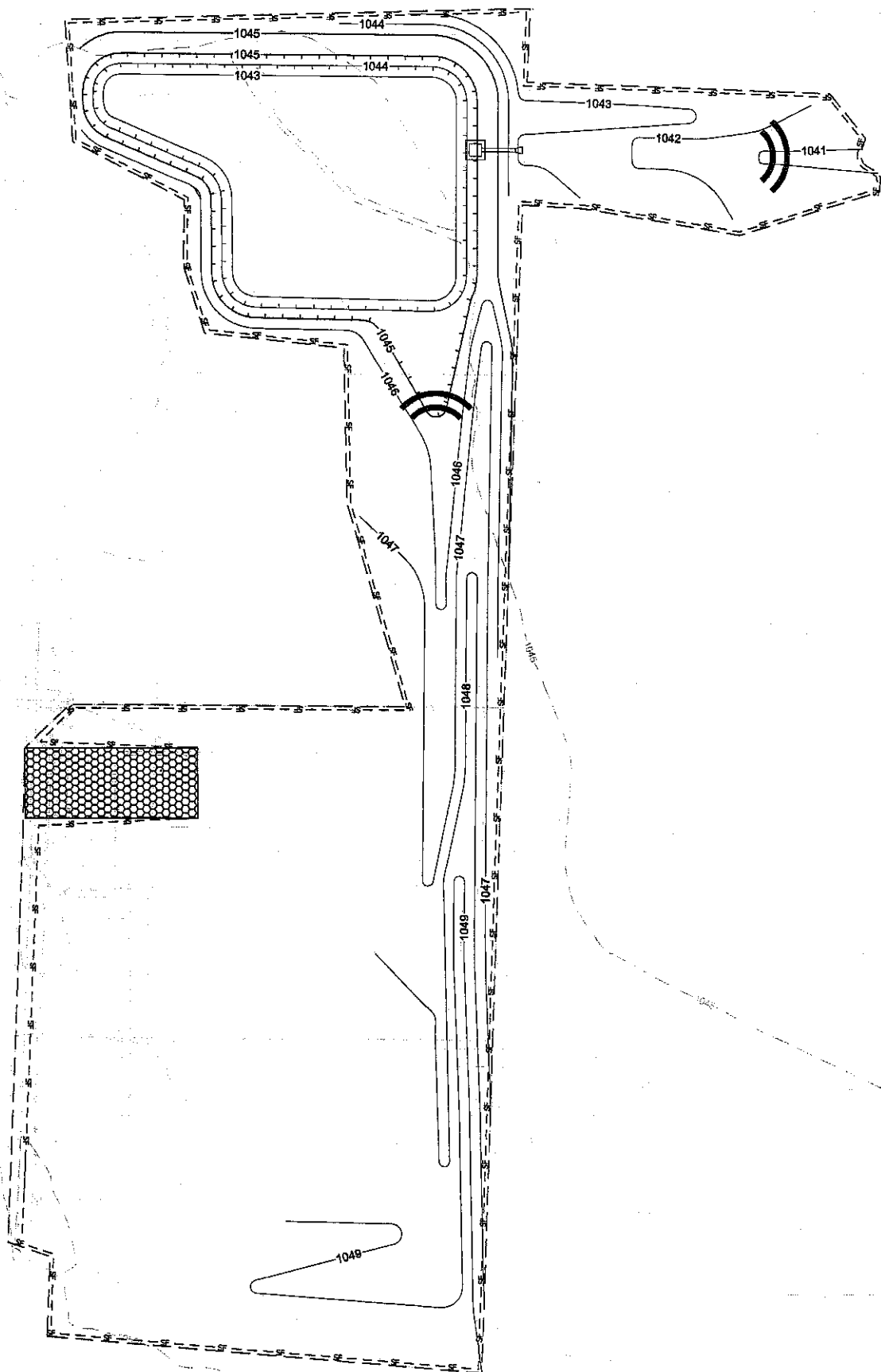
CITY OF **Joplin** CITY OF JOPLIN, MO CKD BY: JOHNSON PROJECT: **PROTECTIVE ENCLOSURE FOR CLEAN OUTS** SAN-17
PUBLIC WORKS DEPT DATE: 2/2019
ENGINEERING DIVISION ENGINEER: HERTZBERG
602 S MAIN ST 64801 FILE: PROTECT ENCL

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NO.	REVISIONS	DESCRIPTION	DRAWING INFO	
			DATE	BY
			DATE	BY
			DATE	BY
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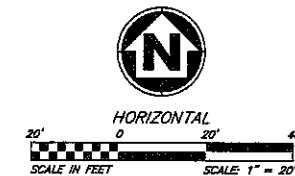
JASPER COUNTY CASA
DETAIL SHEET 2
1901 CAROLYN PLACE, JOPLIN, MISSOURI
05/07/2021
SHEET NUMBER
5
OF 9

May 07, 2021 - 11:23am Plotted By: caszo G:\Shared drives\07_Lead Development Eng\Projects\071021\1010027-BMS-PROP-01-Phase 1.dwg Layer: EROSION CONTROL PHASE 1



LEGEND

- 900 — FINISH GRADE 5' CONTOUR
- 901 — FINISH GRADE 1' CONTOUR
- - - 902 - - - EXISTING GRADE 5' CONTOUR
- - - EXISTING GRADE 1' CONTOUR
- - - LIMITS OF DISTURBANCE
- - - SILT FENCE
- - - ROCK CHECK DAM
- [Hatched] TEMPORARY STONE CONSTRUCTION EXIT



SEQUENCE OF CONSTRUCTION

PHASE I OF LAND DISTURBANCE:

1. INSTALL PERIMETER EROSION CONTROL MEASURES
 - A. INSTALL PERIMETER SILT FENCE
2. INSTALL TEMPORARY STONE CONSTRUCTION EXIT
3. STRIP AND STOCKPILE TOPSOIL IN ACCESSIBLE AREAS AND PROTECT TOPSOIL STOCKPILE WITH PERIMETER SILT FENCE.
4. BEGIN MASS GRADING OPERATION

FEMA INFORMATION

THIS SITE IS LOCATED IN ZONE X, AN AREA OF MINIMAL FLOOD HAZARD, PER FEMA FIRM MAP 25097C0278C. EFFECTIVE DATE OF NOVEMBER 02, 2012. NO LETTERS OF MAP AMENDMENT OR REVISIONS ARE BEING PROPOSED.

LAND DISTURBANCE PERMIT

LAND DISTURBANCE PERMITTED TO BE OBTAINED.

VERIFY INSTALL OF ALL REQUIRED PHASE I EROSION CONTROL PRIOR TO LAND DISTURBANCE ACTIVITIES.

EROSION & SEDIMENTATION CONTROL MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
2. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
3. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.

GENERAL EROSION & SEDIMENTATION NOTES:

- A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING, THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- E. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- J. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN.
- O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- R. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.

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NO.	REVISIONS	DESCRIPTION	DRAWING INFO			
			DATE	BY	DRAWN BY	CMA
					CMA	
					PJJ	
					LICENSE NO.	
					DATE:	05/05/2021
					ISSUED FOR:	PRELIMINARY
					JOB NUMBER:	21-010027

JASPER COUNTY CASA
EROSION CONTROL PHASE 1
 1801 CAROLYN PLACE, JOPLIN, MISSOURI

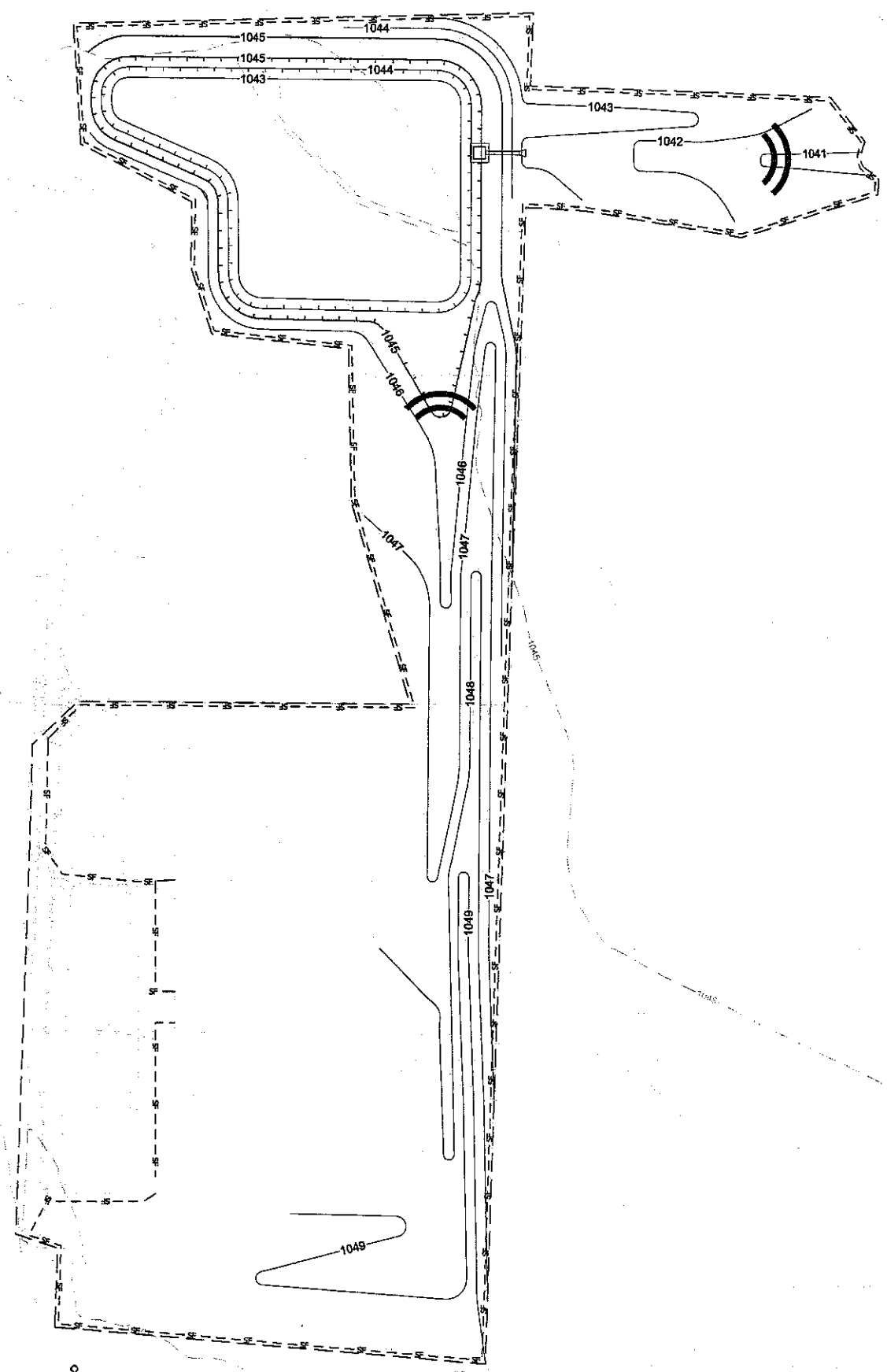


SHEET NUMBER

6
 6 OF 9

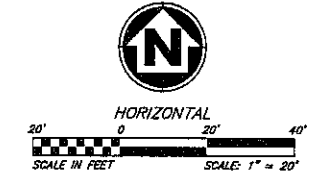
May 07, 2021 11:20am Printed By: celsco c:\shenad\drive_a\1_Dat_Development_Eng\Projects\101\101027\101027 Jasper County O&G, Jasper County, Joplin, MO\101_01\101027\101027-EGW-FRGS-PH2-DTL-Phase2.dwg Layout: EROSION CONTROL PHASE 2

S CAROLYN PL (VACATED)



LEGEND

- 900 — FINISH GRADE 5' CONTOUR
- 901 — FINISH GRADE 1' CONTOUR
- 900 --- EXISTING GRADE 5' CONTOUR
- 901 --- EXISTING GRADE 1' CONTOUR
- - - - - LIMITS OF DISTURBANCE
- - - - - SILT FENCE
- (((((ROCK CHECK DAM



SEQUENCE OF CONSTRUCTION

PHASE II OF LAND DISTURBANCE:
 1. TEMPORARILY STABILIZE THROUGHOUT CONSTRUCTION, DENuded AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
 2. COMPLETE GRADING AND FINAL STABILIZATION OVER ALL AREAS.

FEMA INFORMATION

THIS SITE IS LOCATED IN ZONE X, AN AREA OF MINIMAL FLOOD HAZARD, PER FEMA FIRM MAP 29087C0278E; EFFECTIVE DATE OF NOVEMBER 02, 2012. NO LETTERS OF MAP AMENDMENT OR REVISIONS ARE BEING PROPOSED.

LAND DISTURBANCE PERMIT

LAND DISTURBANCE PERMITTED TO BE OBTAINED.

VERIFY INSTALL OF ALL REQUIRED PHASE I EROSION CONTROL PRIOR TO LAND DISTURBANCE ACTIVITIES.

EROSION & SEDIMENTATION CONTROL MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
2. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
3. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.

GENERAL EROSION & SEDIMENTATION NOTES:

- A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING, THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- E. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- J. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS, REFER TO THE GRADING PLAN.
- O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- R. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.

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DRAWING INFO.	
DATE	DESCRIPTION

DRAWN BY: CMA	CHECKED BY: PJJ	DATE: 06/06/2021	ISSUED FOR: PRELIMINARY
BY: DATE:	LICENSE NO:	JOB NUMBER: 21J010027	

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JASPER COUNTY CASA

EROSION CONTROL PHASE 2

1901 CAROLYN PLACE, JOPLIN, MISSOURI



SHEET NUMBER
7
OF 9

11/1/2021 11:31 AM Plotted By: csk54 0:\Shared drives\01_Land Development\Eng\Projects\VA\2021\121010027\Jasper County, MO\01_Civil\101-005-005\Basel\211010027-005C-10000-001.dwg Layout: CDS5:DETAILS1

Material for Construction Entrance

- Asphalt concrete or concrete on a 4" or 6" aggregate base, or concrete on a 4" or 6" aggregate base.
- Asphalt concrete or concrete on a 4" or 6" aggregate base, or concrete on a 4" or 6" aggregate base.
- Asphalt concrete or concrete on a 4" or 6" aggregate base, or concrete on a 4" or 6" aggregate base.
- Asphalt concrete or concrete on a 4" or 6" aggregate base, or concrete on a 4" or 6" aggregate base.
- Asphalt concrete or concrete on a 4" or 6" aggregate base, or concrete on a 4" or 6" aggregate base.

Maintenance for Construction Entrance

- Remove debris and material from the entrance area.
- Repair any damage to the entrance area.
- Replenish aggregate material as needed.
- Replenish aggregate material as needed.
- Replenish aggregate material as needed.

CONSTRUCTION ENTRANCE

CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
STANDARD DRAWING NUMBER ESC-01
ADOPTED 03/24/2016

Ditch Diameter (Feet)	Spacing (Feet)
12.0	60
15.0	30
18.0	20
24.0	15
30.0	12
36.0	10

ROCK DITCH CHECKS

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
ROCK DITCH CHECKS
STANDARD DRAWING NUMBER ESC-02
ADOPTED 03/24/2016

SILT FENCE DETAILS

SILT FENCE DETAILS

SILT FENCE DETAILS

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
SILT FENCE
STANDARD DRAWING NUMBER ESC-03
ADOPTED 03/24/2016

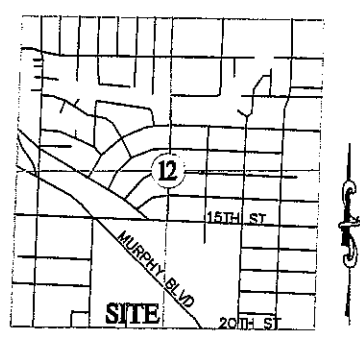
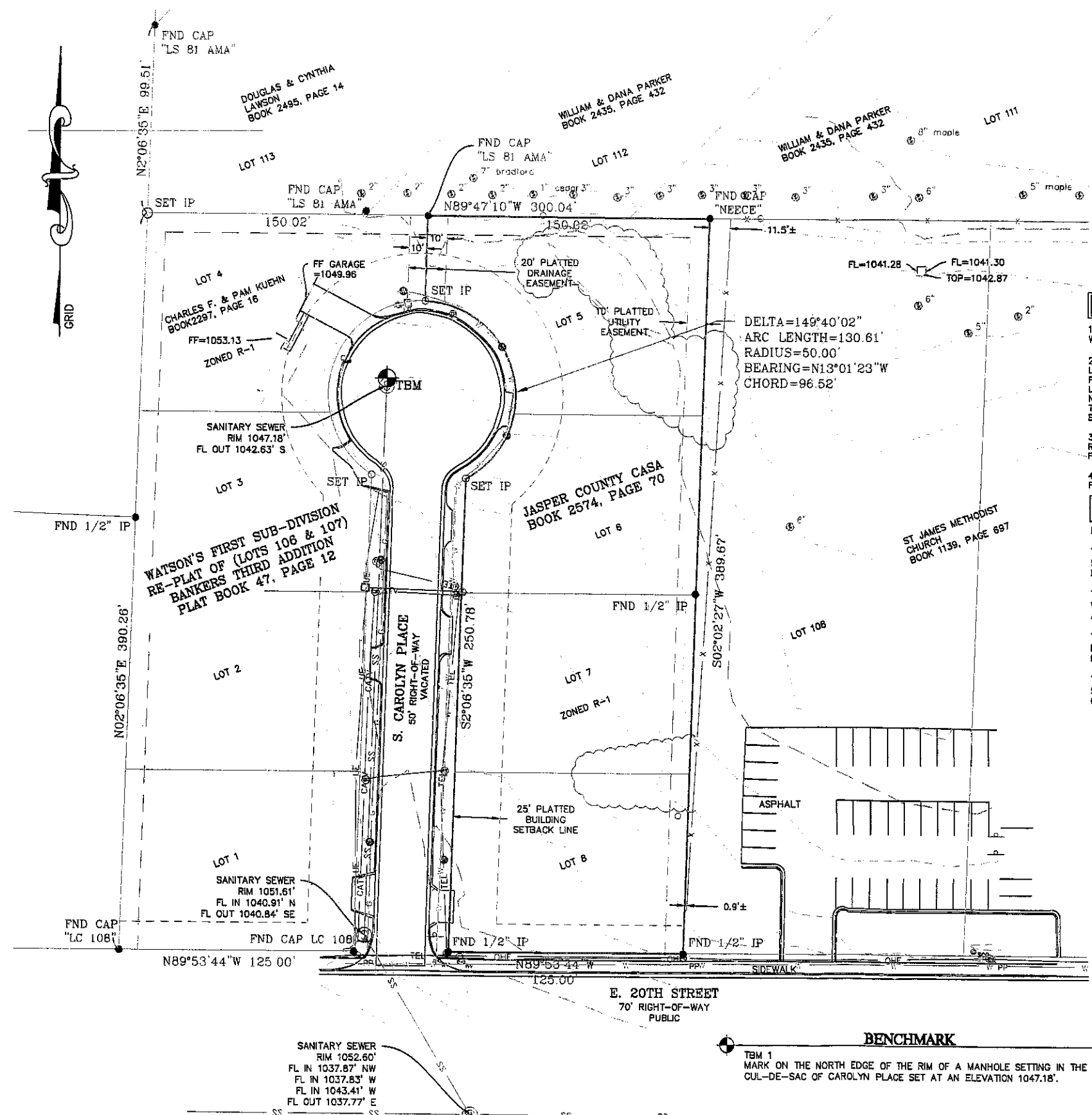
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NO.	REVISIONS	DESCRIPTION	BY	DATE	DRAWN BY:	CMA	CHK'D BY:	PJL	LICENSE NO.	DATE:	ISSUED FOR:	JOB NUMBER
											PRELIMINARY	211010027

JASPER COUNTY CASA
EROSION CONTROL DETAILS
1901 CAROLYN PLACE, JOPLIN, MISSOURI

STATE OF MISSOURI
Professional Engineer
05/07/2021

SHEET NUMBER
9
OF 9



LOCATION SKETCH
SECTION 12
T 27 N, R 33 W
SCALE: 1"=2000'

- NOTES**
- 1) BEARING BASED ON GRID NORTH OF THE MISSOURI COORDINATE SYSTEM OF 1983, WEST ZONE.
 - 2) FENCES SHOWN, OR REFERENCED HEREIN, MAY REPRESENT DIVISION LINES BETWEEN ADJOINING LAND OWNERS, AND EITHER ENCROACH UPON THE SUBJECT PREMISES, OR PROVIDE THE SUBJECT PREMISES WITH SURPLUS LAND BECAUSE SAID FENCES MAY NOT BE LOCATED ON THE DEED LINES. THESE FENCES MAY BE SUBJECT TO ADVERSE POSSESSION RIGHTS BY SAID ADJOINERS. NO FENCES SHOULD BE REMOVED OR REPLACED WITHOUT FIRST CONSULTING CHAPTER 272 OF THE MISSOURI REVISED STATUTES, AND FURTHER, LEGAL ADVICE SHOULD BE SOUGHT, WHICH IS BEYOND THE SCOPE OF SERVICES PROVIDED BY THE SURVEYOR.
 - 3) THIS SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - 4) CAROLYN PLACE VACATED PER CITY OF JOPLIN, DOCUMENTED IN ORDINANCE NO. 2014-208 FOUND IN BOOK 2346, PAGE 1611 AT THE JASPER COUNTY RECORDER OF DEEDS.

- RECORD DESCRIPTION**
- BOOK 2574, PAGE 0070
- TRACT 1: ALL OF LOT NUMBERED FIVE (5) AND THE NORTH 11 FEET OF LOT NUMBERED SIX (6) IN WATSON'S FIRST SUBDIVISION IN THE CITY OF JOPLIN, JASPER COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.
- TRACT 2: ALL OF LOT NUMBERED SIX (6) EXCEPT THE NORTH 11 FEET THEREOF IN WATSON'S FIRST SUBDIVISION IN THE CITY OF JOPLIN, JASPER COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.
- TRACT 3: ALL OF LOT NUMBERED SEVEN (7) AND THE NORTH 5 FEET OF LOT NUMBERED EIGHT (8) IN WATSON'S FIRST SUBDIVISION TO THE CITY OF JOPLIN, JASPER COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.
- TRACT 4: ALL OF THE SOUTH 100 FEET OF LOT NUMBERED EIGHT (8), EXCEPT THE SOUTH 10 FEET IN WATSON'S FIRST SUBDIVISION TO THE CITY OF JOPLIN, JASPER COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

LEGEND

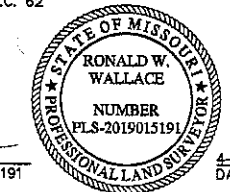
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○ SET IP SET IRON PIN	SANITARY SEWER	SS
○ GY POWER POLE W/ GUY	TELEPHONE LINE	TEL
PP MANHOLE	GAS LINE	G
○ MH MANHOLE	WATER LINE	---
○ SCO SEWER CLEANOUT	ELECTRIC LINE	OHE
○ LP LIGHT POLE	UNDERGROUND ELECTRIC	UE
▲ SIGN	FENCE LINE	-x-x-
○ WATER METER	TREELINE	~
○ WV WATER VALVE	□ ER ELECTRICAL RISER	
○ GV GAS VALVE	○ E ELECTRICAL METER	
○ FH FIRE HYDRANT	○ POST	
○ TELEPHONE RISER	○ MB MAIL BOX	

SURVEYORS DECLARATION

I, THE UNDERSIGNED, DO HEREBY DECLARE THAT THE BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN HEREON WAS MADE UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE THE INFORMATION IS AS SHOWN AND IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR URBAN PROPERTY SURVEYS.
LAST REVISION DATE: APRIL 22, 2021

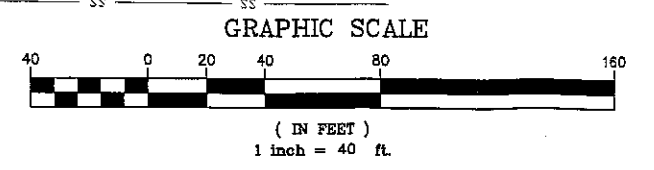
ANDERSON ENGINEERING, INC. L.C. 62
BY:

R. Wallace
RONALD W. WALLACE, P.L.S. 2019015191



4-22-21
DATE

FLOOD NOTE
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 29097C0278E, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 2, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



ANDERSON ENGINEERING
EMPLOYEE OWNED

ENGINEERS SURVEYORS LABORATORIES DRILLING GIS
611 E. 3RD STREET JOPLIN, MISSOURI 64601 PHONE (417) 782-7389

DRAWING INFO.

FIELD BY:	LB
DRAWN BY:	JBM
CHECK BY:	RWW
DATE:	4/26/21
FIELD BOOK:	
JOB NUMBER:	21010027

REVISIONS

NO.	DESCRIPTION	BY	DATE

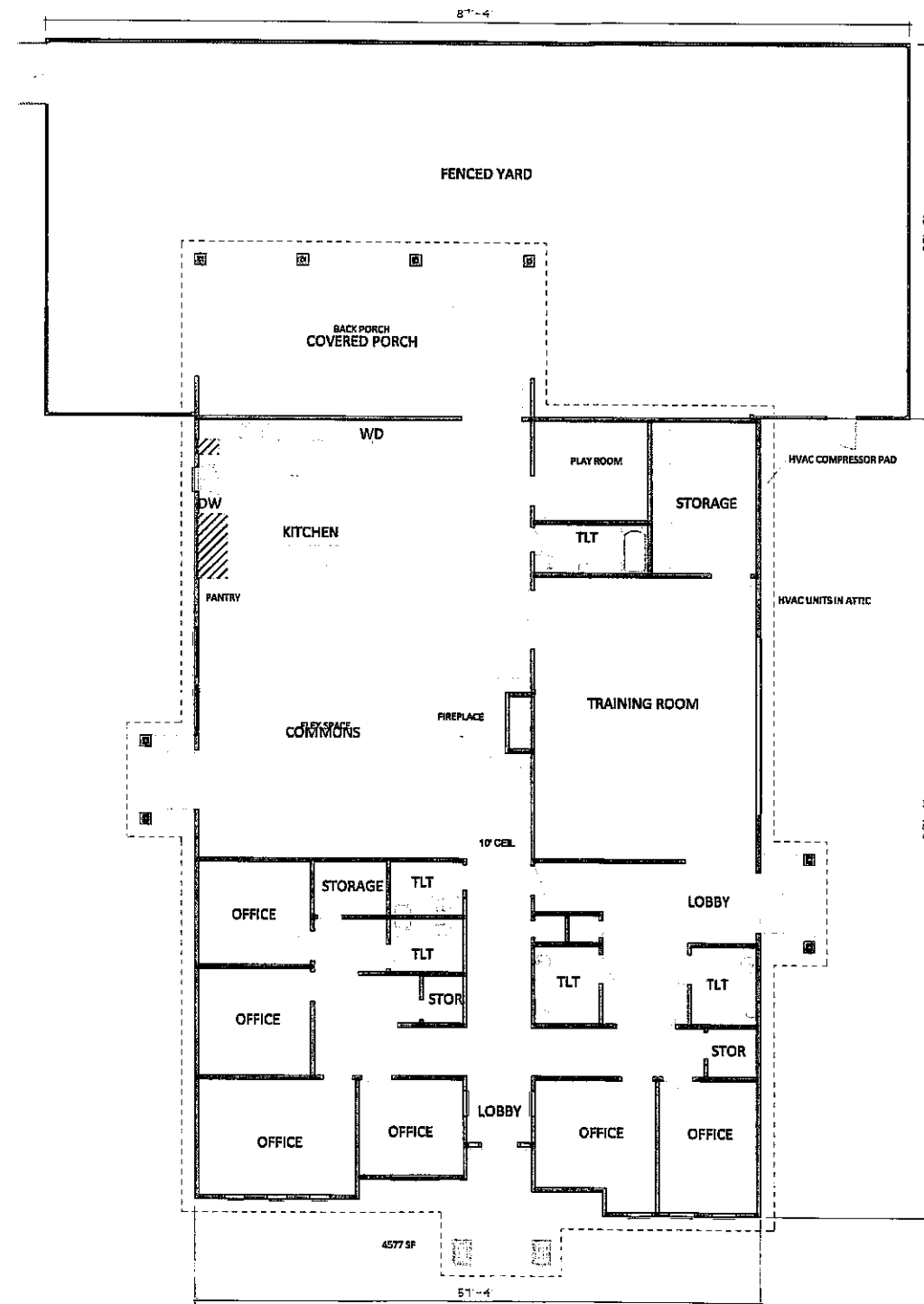
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JASPER COUNTY CASA

BOUNDARY & TOPOGRAPHIC SURVEY

1917 CAROLYN PLACE
JOPLIN, JASPER COUNTY, MISSOURI

DRAWING NO. JOP-100-5934
SHEET NUMBER 1 OF 1



FLOOR PLAN

SCALE: 1/8" = 1'-0"



NORTH

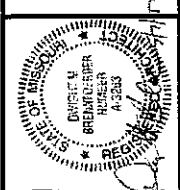
occupancy: 47 (business)

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Project No.	Drawn By	Approved By	Revised By	Date	Description
2107	AE	DB			

1902 N Park Ave
 Joplin, Missouri 64801
 Phone: 417-623-0244
 Dwight@BrenneckerArchitects.com

BRENNECKER
 ARCHITECTURAL SERVICES

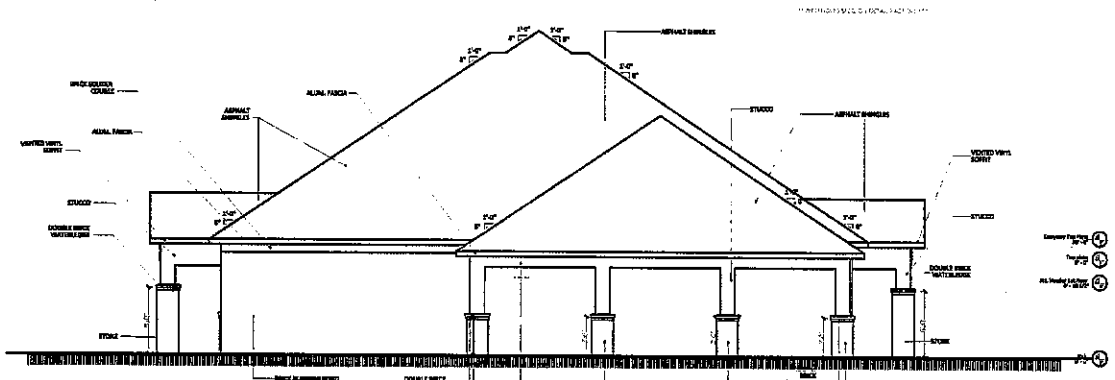


JASPER COUNTY
CASA
 COURT APPOINTED SPECIAL ADVOCATES
 1917 CAROLYN PLACE
 JOPLIN, MISSOURI 64801

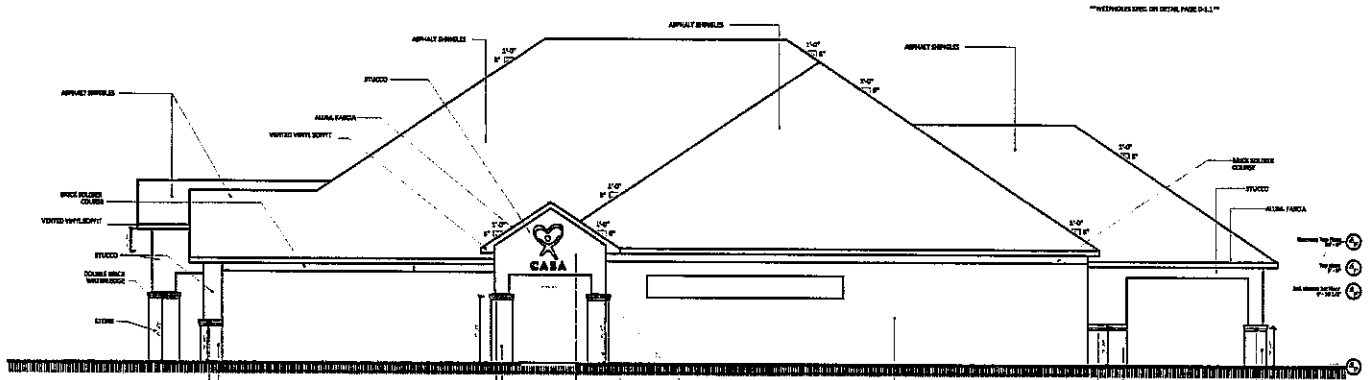
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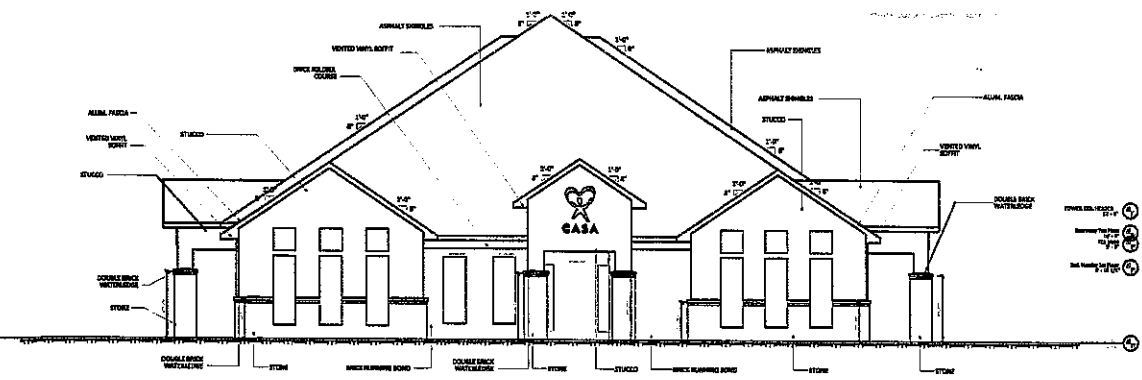
DATE: 5/6/2021



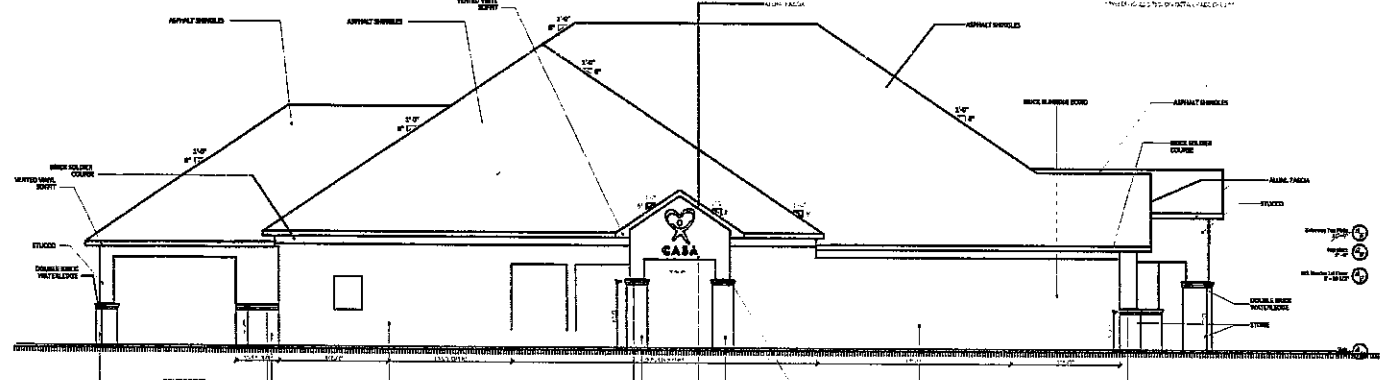
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



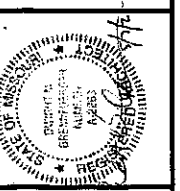
WEST ELEVATION
SCALE: 1/8" = 1'-0"

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Project Number	2107
Drawn By	AE
Approved By	DB
Revision No.	
Date	

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Phone: 417-623-0244
Dwight@BremtenderArchitects.com

BREMTENDER
ARCHITECTURAL SERVICES



JASPER COUNTY
CASA
COURT APPOINTED SPECIAL ADVOCATES
1917 CAROLYN PLACE
JOPLIN, MISSOURI 64801

SHEET NUMBER:
AR

DATE: 5/6/2021